

# RIVER BLUFF ESTATES SUBDIVISION

Part of the E 1/2 & the NW 1/4  
Sec. 1, T44N, R12W  
AREA: 10.90 ACRES ZONED: RS-3 & PUD

## STANDARD STREET NOTES

- The Department of Public Works must be notified at least 24 hours prior to beginning construction, including grading. No street or any part thereof will be accepted by the City of Jefferson unless proper notice has been given to the Department of Public Works.
- All construction indicated hereon shall be done in accordance with the standards and specifications of the City of Jefferson.
- Joints for PCC pavement shall be installed every 12 feet for 6 inch thick pavement. Spacing for other pavement depths shall be twenty four times the pavement thickness. If curb and gutter is placed separately, pavement joints shall match joints in curb and gutter and maximum spacing on curb and gutter joints shall be 10 feet.
- Expansion joints shall be placed in curb and gutter at curb returns, inlet returns, and drive approaches. 3/4" expansion material with 5/8" x 24" smooth dowels shall be placed at radius points. These dowels shall be greased and wrapped on one end with expansion tubes.
- Reinforce joints in PCC pavement as follows:
  - Transverse sawed joints - not tied.
  - Transverse construction joints - tie with 1/2" x 24" deformed bars at 12" centers.
  - Longitudinal construction or sawed joints - tie with 1/2" x 24" deformed bars at 30" centers.
- All joints shall be sealed.
- All disturbed right-of-way shall be sodded or seeded and mulched before the street will be accepted by the City.

## STANDARD STORM SEWER NOTES

- The Department of Public Works must be notified at least 24 hours prior to beginning construction, including grading. No storm sewer system or any part thereof will be accepted by the City of Jefferson unless proper notice has been given to the Department of Public Works.
- All construction indicated hereon shall be done in accordance with the standards and specifications of the City of Jefferson.
- Detention basins to be constructed before any pavement is placed (if applicable).
- All pipes shall be installed before adjacent pavement is installed.
- All fills shall be compacted as placed, and made prior to trench excavation.
- Minimum cover over storm sewer = 1.0'.
- All disturbed areas shall be repaired before the storm sewer system will be accepted by the City.

## STANDARD SANITARY SEWER NOTES

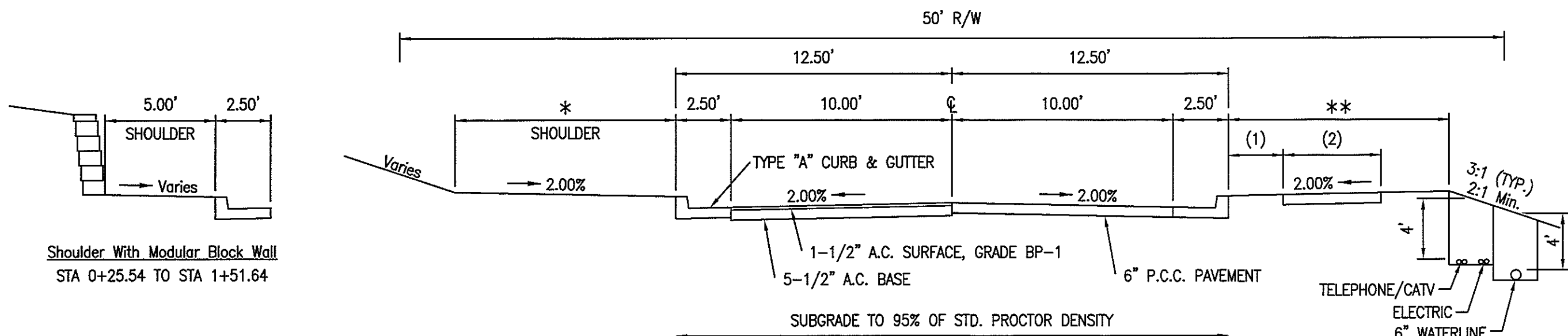
- The Department of Public Works must be notified at least 24 hours prior to beginning construction, including grading. No sewer line or any part thereof will be accepted by the City of Jefferson unless proper notice has been given to the Department of Public Works.
- All construction indicated hereon shall be done in accordance with the standards and specifications of the City of Jefferson.
- All fills shall be compacted to 95% Std. Proctor, and made prior to trench excavation. Test reports shall be submitted to the City.
- Minimum drop through a manhole = 0.1'.
- Minimum cover over sewer line = 3.0'.
- Spoils from trench excavations will need to be placed on the uphill side of the trenches to help control sediment from the sewer installation work. If the spoil pile erodes, the sediment will then enter ditch rather than leaving site.
- All sanitary sewer line extensions or additions shall be inspected, tested, and accepted by the Department of Public Works prior to connection to a functioning portion of the City sanitary sewer system. The Department of Public Works must be notified prior to, and an inspector present at the time of connection to the existing system.
- All disturbed areas shall be repaired before the sanitary sewer system will be accepted by the City.

## GENERAL NOTES:

- SANITARY SEWER - City of Jefferson  
WATER SUPPLY - Missouri American Water Company  
ELECTRIC - Ameren Missouri  
GAS - Ameren Missouri  
TELEPHONE - Century Link  
TELEVISION - Mediacom  
LAND USE - Single Family Residential
- BEARING BASE: NAD83 Missouri State Plane, Central Zone, Coordinate System
- RECORD SOURCE:
- VERTICAL DATUM: City of Jefferson and County of Cole Vertical Datum System (U.S.G.S. NAVD83).
- The front, side and rear setback lines shall be as per City of Jefferson Zoning Code.
- The current City Zoning is RS-3 and PUD with an underlying zoning district of RS-2. The RS-2 and RS-3 zoning indicates the setbacks are front: 25', side: 10' and rear: 30'.
- FLOODPLAIN INFORMATION: Except as shown hereon this property is located in the Flood Plain, Zone "X" (area outside the 0.2% chance flood plain) shown hereon as per Flood Insurance Rate Map, Cole County, MO, map number 29051C0129E dated November 2, 2012.
- Set 5/8" I.P. with cap at all subdivision corners, and 1/2" I.P. with cap at all interior corners, unless otherwise noted.
- On Street Parking shall be designated on the south side of River Bluff Court.
- Erosion and Sediment Control Plans will be required with Improvement Plan submittal.
- See Typical Pavement Section for location of utilities.
- Subject to Restrictions recorded in Book \_\_\_\_, page \_\_\_\_, Cole County Recorder's Office, Cole County, Missouri.
- Lot 6 is subject to a City of Jefferson Storm Water Quality Benefit Area.
- Lots 6 and 7 are subject to a 25' wide RIPARIAN corridor setback from the existing Wears Creek northerly bank, plus an additional 35' wide NO BUILD corridor setback as shown.
- Lot 7 is intended to be transferred to the City of Jefferson for a sanitary sewer pump station.

## LEGEND

EXISTING (Light or Dashed)	-----	ELEC. METER	----- □	MANHOLE	----- ⊙
PRIMARY PROPERTY LINE	=====	ELEC. TRANSFORMER	----- □	CLEAN OUT	----- o <sup>CO</sup>
EXISTING PROPERTY LINE	-----	LIGHT POLE	----- ✖ <sup>L.P.</sup>	LAMP HOLE	----- o <sup>LH</sup>
FENCE	----- X ----- X	POWER POLE	----- o <sup>P.P.</sup>	STREET SIGN	----- 4
TELEPHONE LINE	----- UGT ----- UGT	TEL. BOX	----- □ <sup>TEL</sup>	PROPANE TANK	----- (Propane)
ELECTRIC LINE	----- UGE ----- UGE	WATER VALVE	----- ⋈	MAIL BOX	----- [ ]
SANITARY SEWER LINE	----- S ----- S	WATER METER	----- ●	TREE	----- [ ]
WATER LINE	----- W ----- W	FIRE HYDRANT	----- Δ <sup>F.H.</sup>	TV PED.	----- [ ]
ABBREVIATIONS	T/TEL--TELEPHONE, E--ELECTRIC O--OVERHEAD, UG--UNDERGROUND TV--TELEVISION, I.P.--IRON PIN (TBR)--TO BE REMOVED				



TYPICAL PAVEMENT SECTION - 25' Bk-Bk  
RIVER BLUFF COURT  
NOT TO SCALE

\*\* STA 0+23.35 TO STA 1+38.37 - 5.00' SHOULDER  
STA1+38.37 TO STA 2+40.89 - TAPER SHOULDER 5.00' TO 10.00'  
STA 2+40.89 TO STA 7+07.82 - 10.00' SHOULDER

APPROVED BY: MATTHEW J. MORASCH, P.E.,  
Director of Public Works

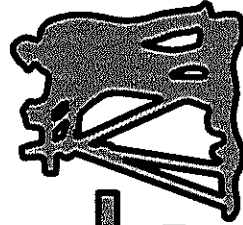
## UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE AND ONE-CALL MARKINGS. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PRINTS ISSUED  
FEBRUARY 8, 2016  
REVISIONS:

Central Missouri Professional Services, Inc.

ENGINEERING - SURVEYING - MATERIALS TESTING  
2500 E. MCCARTY  
JEFFERSON CITY, MISSOURI 65101  
(573) 634-3455  
(573) 634-8898



Central Missouri Professional Services, Inc.  
Missouri State Certificate of Authority #001568



RIVER BLUFF ESTATES  
SUBDIVISION  
RIVER BLUFF CONDOMINIUMS, LLC  
1414 W. MAIN ST./1606 HAYSELTON DR.  
JEFFERSON CITY, COLE COUNTY, MISSOURI

CMPS JOB No. 03-137

DRN. BY: PPK CKD. BY: CFB

SCALE:

SHEET TITLE

COVER  
SHEET

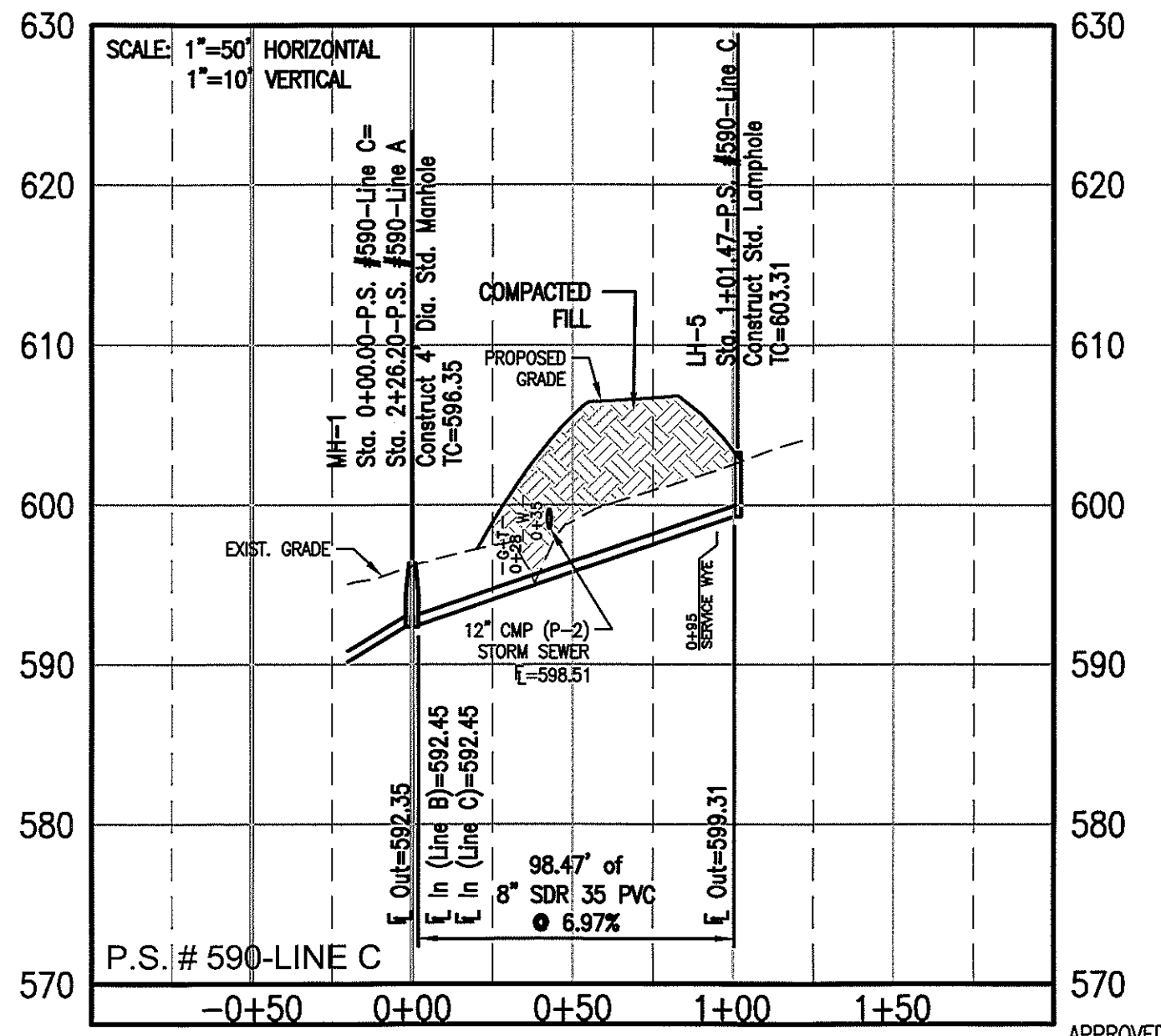
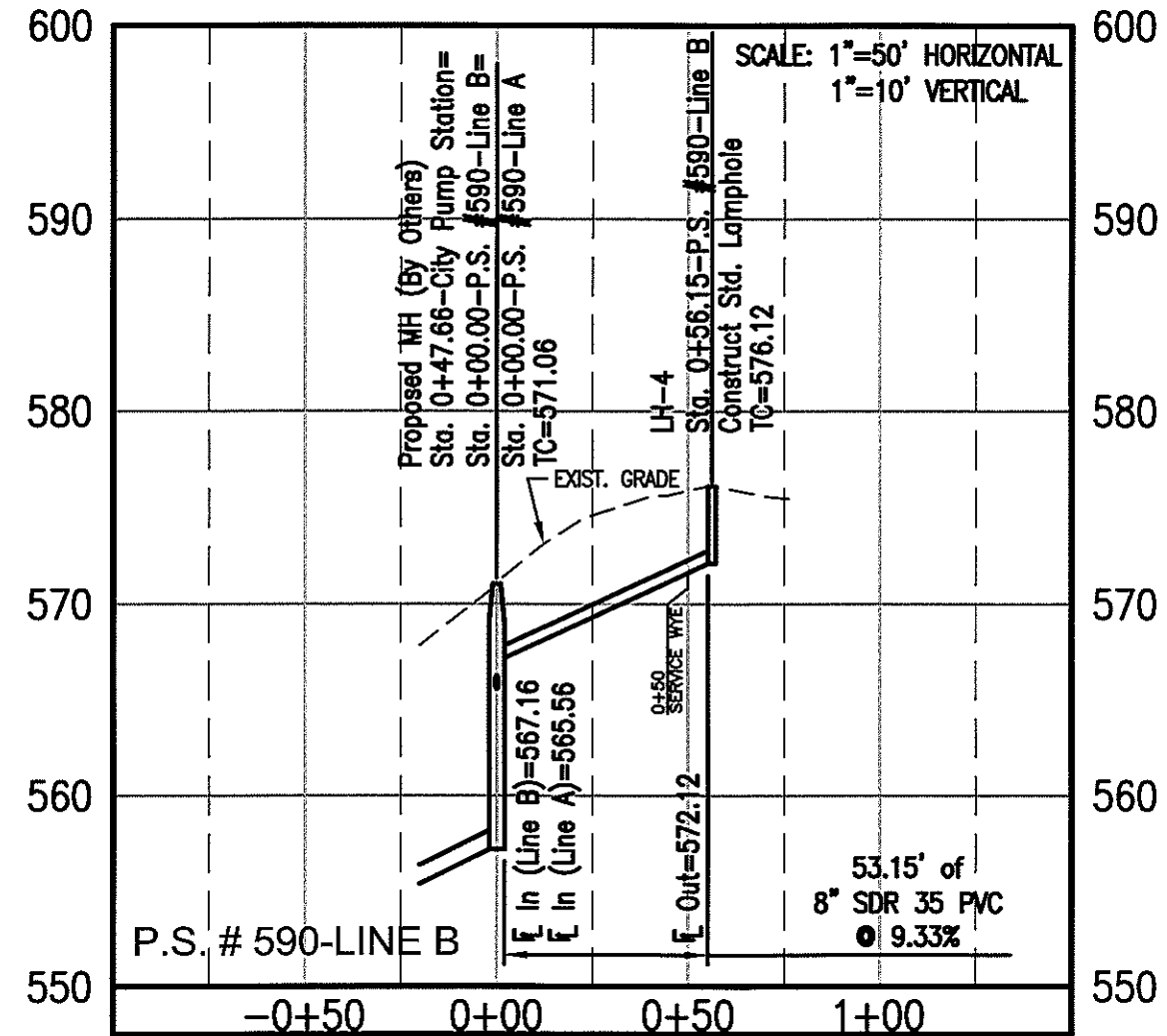
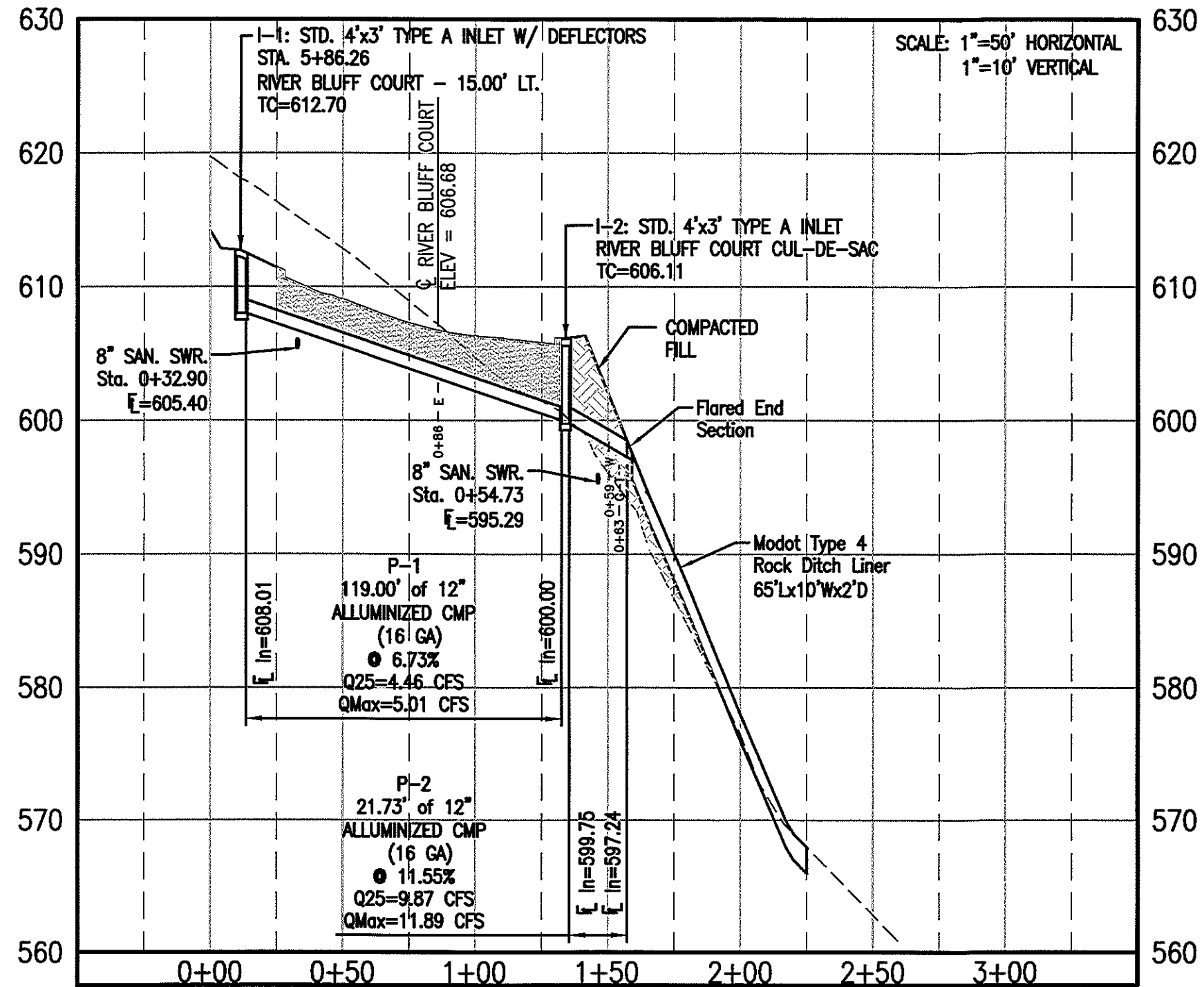
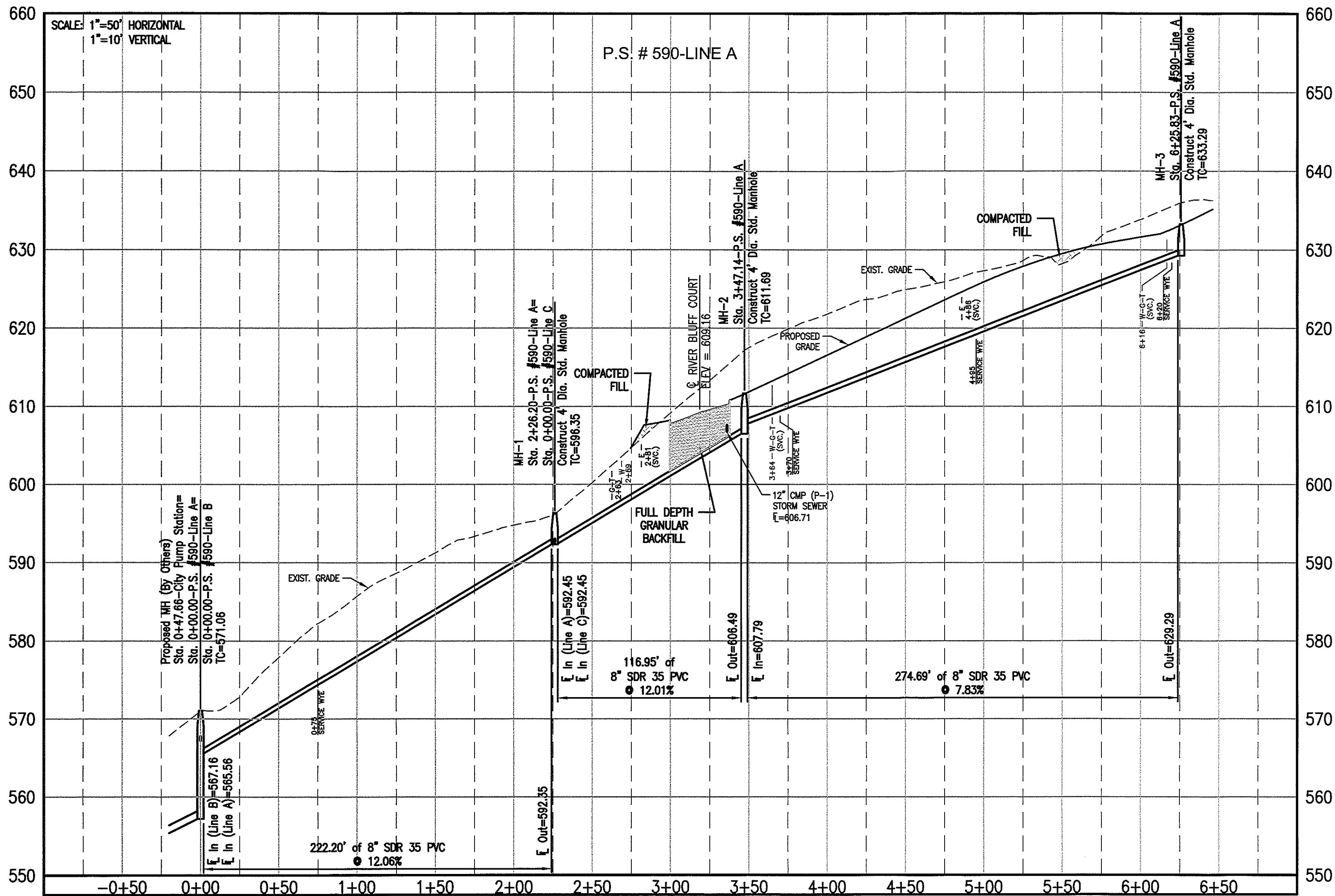
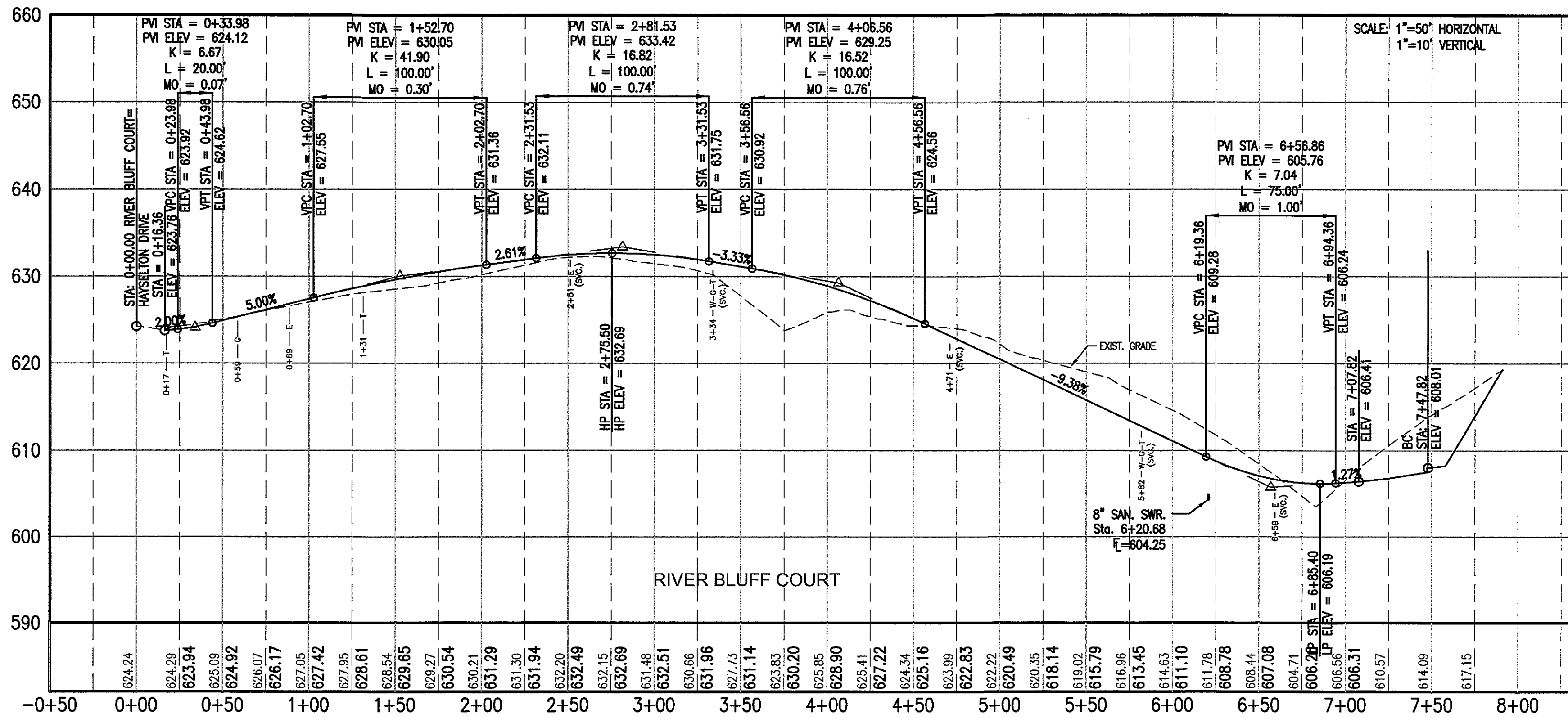
SHEET NUMBER

1

OF 7 SHEETS







APPROVED BY: \_\_\_\_\_ Date: \_\_\_\_\_  
MATTHEW J. MORASCH, P.E.,  
Director of Public Works

PRINTS ISSUED  
FEBRUARY 8, 2016

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PRELIMINARY

Patrick P. Kremer, PE - Engineer  
MO# PE-2012018094

RIVER BLUFF ESTATES  
SUBDIVISION  
RIVER BLUFF CONDOMINIUMS, LLC  
1414 W. MAIN ST./1606 HAYSELTON DR.  
JEFFERSON CITY, COLE COUNTY, MISSOURI

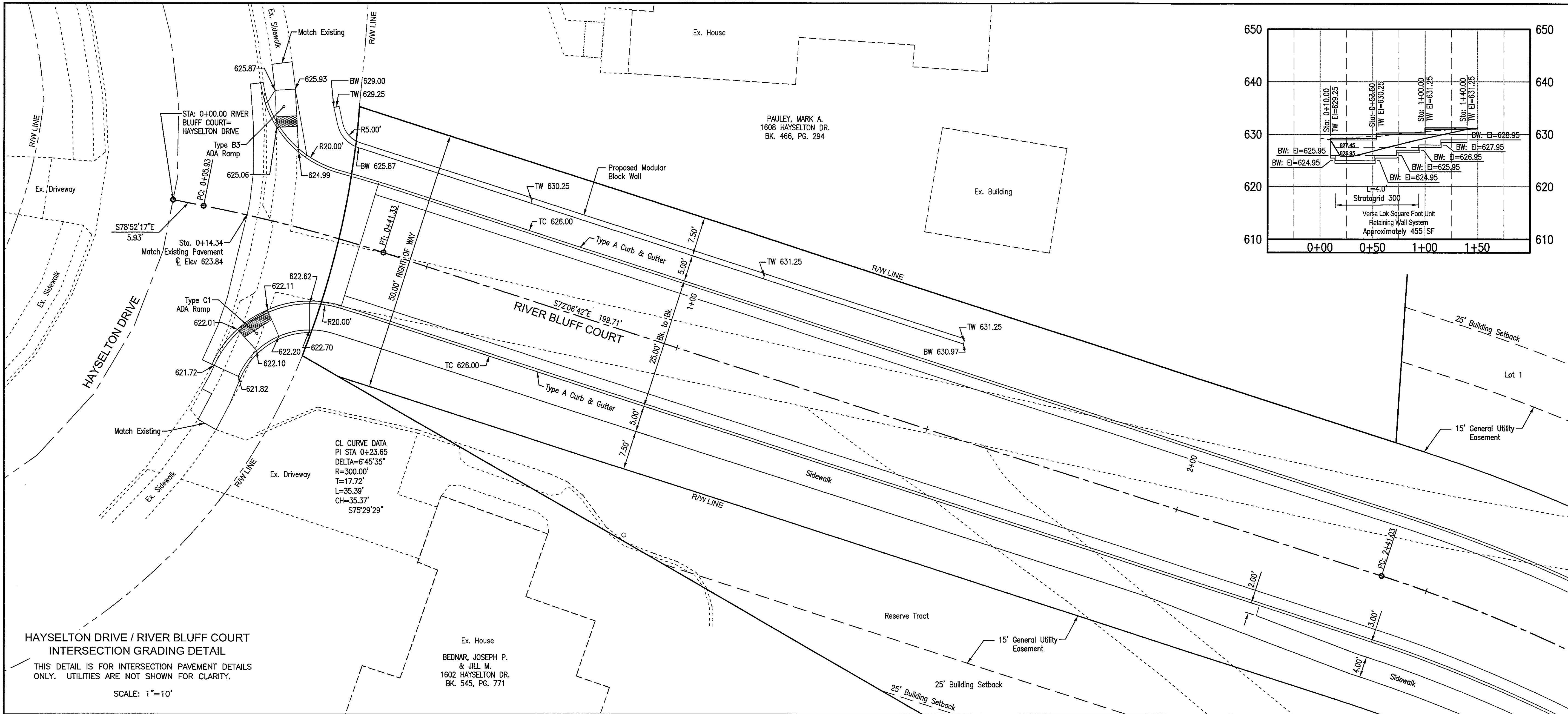
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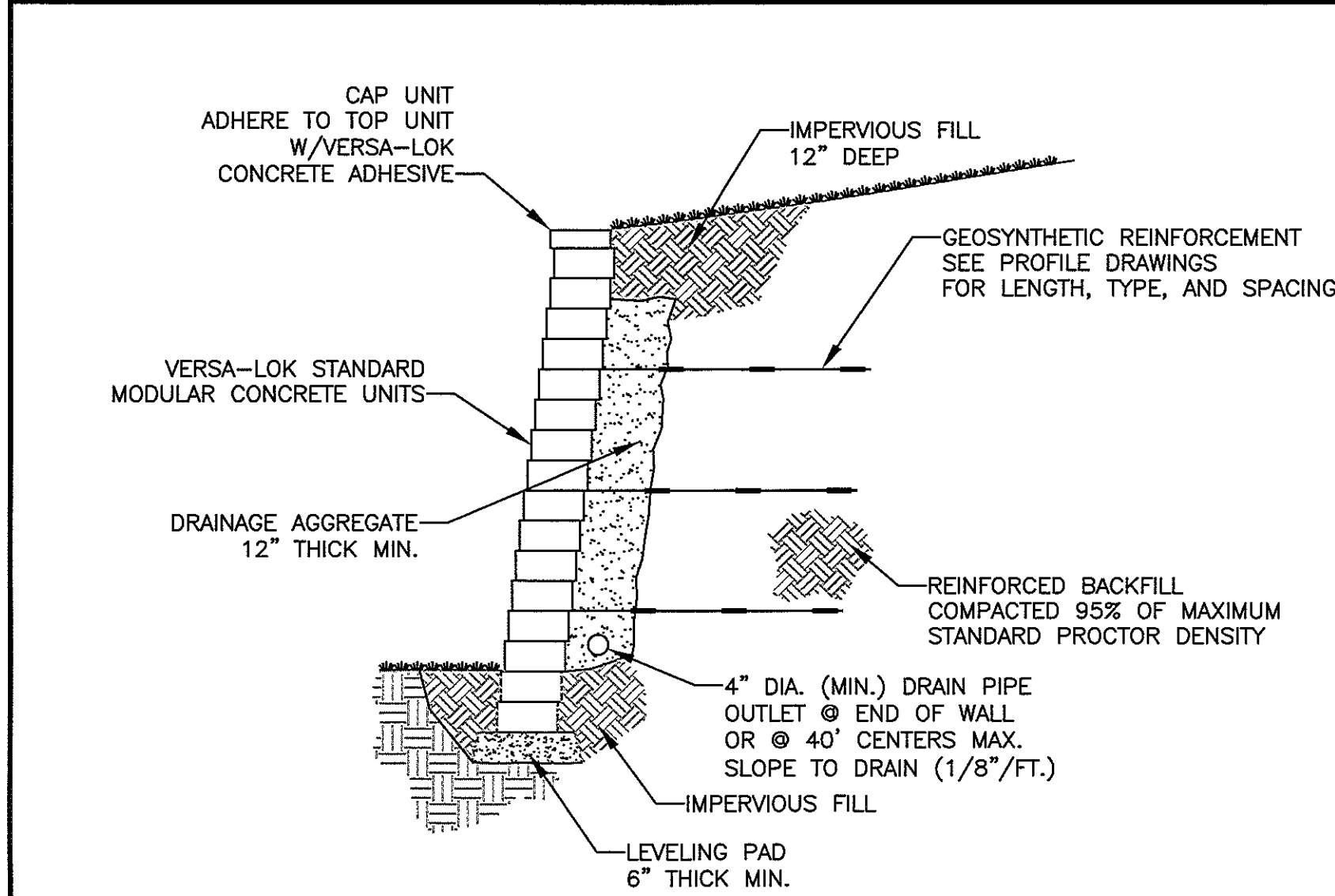
SCALE: AS INDICATED

SHEET TITLE  
PROFILES  
SHEET

SHEET NUMBER  
3  
OF 7 SHEETS



HAYSELTON DRIVE / RIVER BLUFF COURT  
INTERSECTION GRADING DETAIL  
THIS DETAIL IS FOR INTERSECTION PAVEMENT DETAILS  
ONLY. UTILITIES ARE NOT SHOWN FOR CLARITY.  
SCALE: 1"=10'



TYPICAL SECTION-REINFORCED RETAINING WALL  
SQUARE FOOT MODULAR CONCRETE UNIT  
NOT TO SCALE

SPECIFICATIONS FOR MODULAR BLOCK WALL

MATERIALS

The basis of design for the Modular Block Retaining Wall is Versa-lok Square Footblock units, as manufactured by Midwest Block and Brick. The color shall be chosen by the owner. Concrete wall units shall meet all of the requirements of ASTM C1372 with a minimum compressive strength of 3000 psi and a maximum water absorption of 8.0%.

The reinforced wall backfill material shall be compacted rock. The rock shall be crushed limestone with a maximum particle size of 1" and a maximum 10% passing the #200 sieve.

The drainage rock shall be free draining crushed limestone similar to 1" clean.

Geogrids shall be Stratagrid 300 geogrid as indicated on the plans and as manufactured by US Fabrics or similar. The geotextile filter fabric shall be Mirafi 140NL or similar.

The leveling pad shall be constructed of well graded crushed limestone similar to 1" minus or lean concrete.

WALL FOUNDATION

The foundation soil shall be excavated as required for the leveling pad and the reinforced fill zone to the depths and locations shown on the plan sheet or as directed by the site engineer. The exposed foundation soil shall be observed by a qualified soils engineer prior to construction to verify that the exposed material is suitable for a net design bearing pressure of 3500 psf and that the base of the excavation is free of loose soil, uncompacted fill, water or frozen material. Undercut any unsuitable material as required by the soils engineer. Undercut areas shall be filled with crushed limestone and compacted to at least 95% of the material's standard Proctor maximum dry density. Construct the leveling pad to grades indicated on the plans.

WALL CONSTRUCTION

Install the first course of units on the leveling pad. Install the next course in a running bond stack. Place the Versa-tuf pin through the top unit holes and into the slot in the unit below. Use a minimum of 2 pins per unit. Pull unit forward. Backfill units and continue construction.

GEOGRID REINFORCING

The geogrids shall be cut to design lengths and placed between the blocks at the elevations shown on the plans. The geogrid's primary strength direction will be directed perpendicular to the wall face (into the fill). The geogrids placed outside a minus 4" zone of the geogrid design elevation will not be accepted. The geogrid shall be placed horizontally and lay flat on the reinforced fill soil. The geogrid shall be placed so the a minimum of 8" of grid is between the block layers. Slack in the geogrid shall be removed prior to placing additional backfill.

WALL BACKFILL

Wall backfill material shall be placed in maximum 8" loose lifts and compacted to at least 95% of the material's maximum dry density as determined by the standard Proctor method. Backfill shall be placed, spread and compacted in such a manner that minimizes wrinkles and movement of the geogrid. Field density testing shall be conducted by a qualified soils technician to verify that at least the minimum degree of compaction is being obtained. If 1" clean rock is used for backfill, then it shall be compacted with a minimum of 2 passes of a vibratory compactor and density tests are not required. 1" Clean backfill is the recommended material for use in the backfill.

During backfill placement the 3 foot zone directly behind the wall shall be limited to the use of hand operated compaction equipment only.

Construction equipment shall not be operated directly on the geogrid.

PROTECTION OF WORK

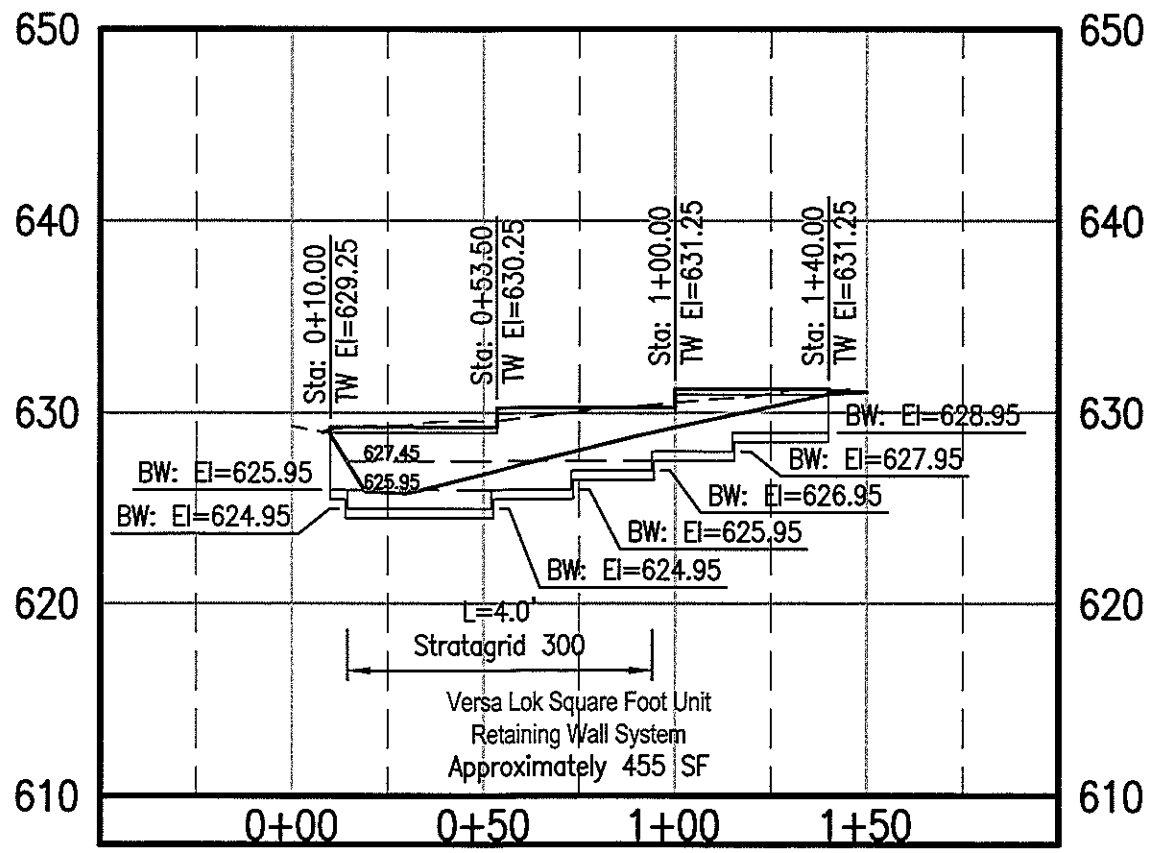
Existing structures in close proximity to the wall construction area shall be protected at all times. Provide shoring, reinforcement or bracing necessary for protection of existing structures as needed during wall construction. Limit open excavation areas for wall construction to short durations of time.

The surface of the wall backfill shall be graded at the end of each day of work to provide positive surface drainage away from the wall. Grading shall include proper contouring of fills in adjacent areas to prevent the flow of surface water into the reinforced earth zone and prevent the flow of water into the leveling pad area.

The design of the walls are based on conditions and loads imposed on the wall at completion of the project. Prior to project completion, the wall is vulnerable to damages caused by construction activity adjacent to the wall. Of particular concern is the use of grading and pavement construction equipment of the retained backfill at the top of the wall. Only equipment with a weight not exceeding one ton can be used in the 3 foot zone directly behind the back of the wall face.

An orange safety fence should be placed around the top of the wall at the end of each day as the wall's height increases. Access to the upper part of the construction site should be limited until the project is complete.

No changes shall be made to this plan without the written approval of Central Missouri Professional Services.



APPROVED BY: MATTHEW J. MORASCH, P.E., Date: \_\_\_\_\_  
Director of Public Works

PRINTS ISSUED  
FEBRUARY 8, 2016

REVISIONS:

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PATRICK P. KREMER  
Professional Engineer  
No. 18094  
State of Missouri

Central Missouri Professional Services, Inc.  
Missouri State Certificate of Authority #00156

STATE OF MISSOURI  
PATRICK P. KREMER  
Professional Engineer  
No. 18094  
State of Missouri

Patrick P. Kremer, PE - Engineer  
MO# PE-2012018094

RIVER BLUFF ESTATES  
SUBDIVISION

RIVER BLUFF CONDOMINIUMS, LLC

1414 W. MAIN ST./1606 HAYSELTON DR.  
JEFFERSON CITY, COLE COUNTY, MISSOURI

CMPS JOB No. 03-137

DRN. BY: PPK CKD. BY: CFB

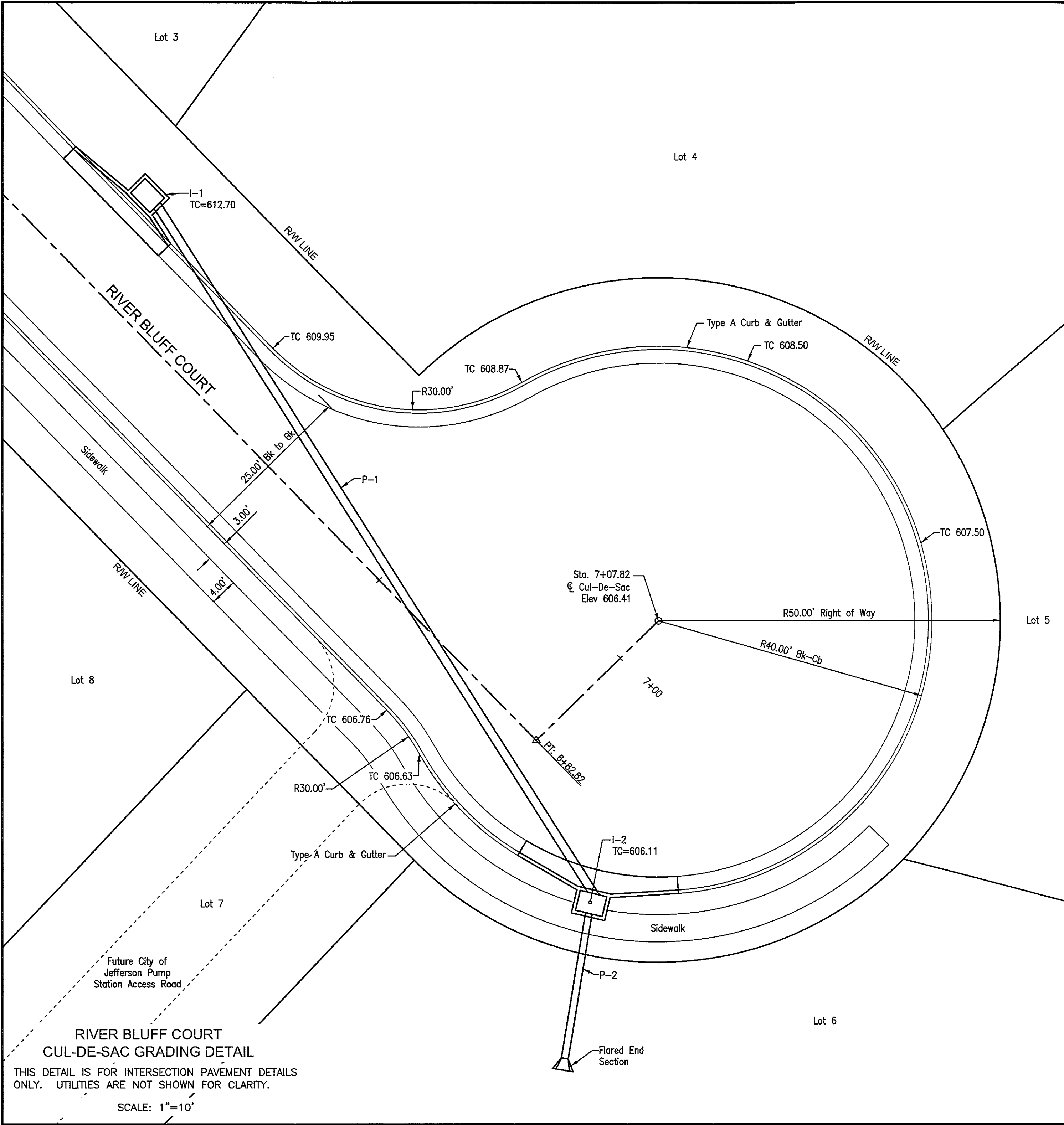
SCALE: AS INDICATED

SHEET TITLE  
DETAIL SHEET

SHEET NUMBER  
4

OF 7 SHEETS





RIVER BLUFF COURTS  
CUL-DE-SAC GRADING DETAIL  
THIS DETAIL IS FOR INTERSECTION PAVEMENT DETAILS  
ONLY. UTILITIES ARE NOT SHOWN FOR CLARITY.  
SCALE: 1"=10'

APPROVED BY: MATTHEW J. MORASCH, P.E., Date:                       
Director of Public Works

PRINTS ISSUED  
FEBRUARY 8, 2016  
REVISIONS:

Central Missouri Professional Services, Inc.  
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PRELIMINARY

STATE OF MISSOURI  
PATRICK P. KREMER  
PROFESSIONAL ENGINEER  
NO. 18094  
EXPIRATION DATE 12/31/2016

Patrick P. Kremer, PE - Engineer  
MO# PE-2012018094

RIVER BLUFF ESTATES  
SUBDIVISION  
RIVER BLUFF CONDOMINIUMS, LLC  
1414 W. MAIN ST./1606 HAYSELTON DR.  
JEFFERSON CITY, COLE COUNTY, MISSOURI

CMPS JOB No. 03-137

DRN. BY: PPK CKD. BY: CFB

SCALE: AS INDICATED

SHEET TITLE  
DETAIL SHEET  
SHEET NUMBER  
5  
OF 7 SHEETS

# EROSION CONTROL NOTES

This Site is greater than 1 acre and therefore requires a Missouri DNR Land Disturbance Permit. Land disturbance activities on this site are currently permitted under Missouri State Operating Permit #MOR????, which expires on February 7, 2017. A Stormwater Pollution Prevention Plan (SWPPP) has been developed for this property. An abridged SWPPP is outlined below. Please refer to the SWPPP document for complete requirements. The contractor shall be required to submit an application for a Grading Permit to the City of Jefferson, Public Works Department, prior to commencing work.

The SWPPP and Erosion Control Plans are not intended to dictate construction phasing, but are intended to indicate Best Management Practices that should be in place during various phases of construction. The contractor shall be responsible for updating and modifying the SWPPP and Erosion Control Plan based on his construction sequence, and to address field conditions.

In addition, the contractor is encouraged to reference the document "Protecting Water Quality", January 2011 edition, as Prepared by the Missouri Department of Natural Resources for further guidance on installation and maintenance of construction site erosion, sediment and stormwater control practices.

- Contractor shall provide all materials, tools, equipment and labor as necessary to install and maintain adequate erosion and siltation controls required to prevent soil erosion from leaving the project site. It shall be the Contractor's sole responsibility to ensure that methods utilized are adequate and comply with requirements of the Missouri DNR Land Disturbance Permit, specifications and other governmental agencies having jurisdiction over the work.
- The Contractor shall have the responsibility for resolving complaints in the event that complaints or damage claims are filed due to damages occurring adjacent to or downstream from property by sediment resulting from erosion on the project site.
- The Contractor shall install erosion control measures as shown on the drawings prior to beginning earthwork operations.
- The Contractor shall maintain and inspect all sediment control measures during construction as required by all applicable permits.
- All sediment shall remain on site and surrounding streets shall be kept clear of all mud and debris.
- The contractor shall phase grading operations to minimize the amount of disturbed area.
- Sediment Barrier Fence, is to be installed as shown on the plans. The barrier shall be constructed of either:  
(a.) A continuous line of touching hay bales placed end to end and securely staked to prevent movement of the bales. (see Erosion Control Detail Sheet)  
(b.) A continuous silt fence (see Erosion Control Detail Sheet).
- Accumulated sediment shall be removed and the sedimentation barriers maintained as needed to prevent sedimentation bypass of the barrier. Removed sediment shall be disposed of in a location where sediment will not again erode into the construction area or into natural waterways.
- Slopes shall be left in a rough condition during grading operations.
- Stormwater Inlet Sedimentation Barriers are to be installed around inlets upon their installation at locations shown on the plans. Inlet barriers shall be block and gravel, secured straw bales, silt fence, or on approved pre-manufactured system.
- Erosion control measures are to remain in place until 70% ground cover has been established.
- Sediment shall be removed from storm water drainage systems. Removed sediment shall be captured and disposed of in a location where sediment will not again erode into the construction area or into natural waterways.
- Contractor shall be responsible for installing any additional erosion control measures as he/she deems necessary. Upon installing additional erosion control measures, or making modifications to the erosion control plan, the contractor shall update the SWPPP and Erosion Control Plan.
- Temporary seeding shall be used to stabilize disturbed areas that will not be brought to final grade within 30 days, or when the season is not suitable for permanent seeding. A qualified professional shall be consulted to recommend necessary soil amendments, and seeding mixtures.
- At completion of site grading and other related construction activities, all disturbed areas within the project site shall be seeded, sodded, or landscaped as shown on the Landscaping Plans.



CALL BEFORE YOU  
DIG - DRILL - BLAST  
1-800-344-7483  
(TOLL FREE)

MISSOURI ONE CALL SYSTEM, INC.

NOTE: The Contractor will be responsible to call the Missouri One Call System 1-800-344-7483 and have the underground utilities marked or remarked prior to any construction.

NOTE: UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES, HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.

## TEMPORARY EROSION CONTROL LEGEND

--- 12" STRAW WATTLES

▲▲▲ SEDIMENT BARRIER FENCE

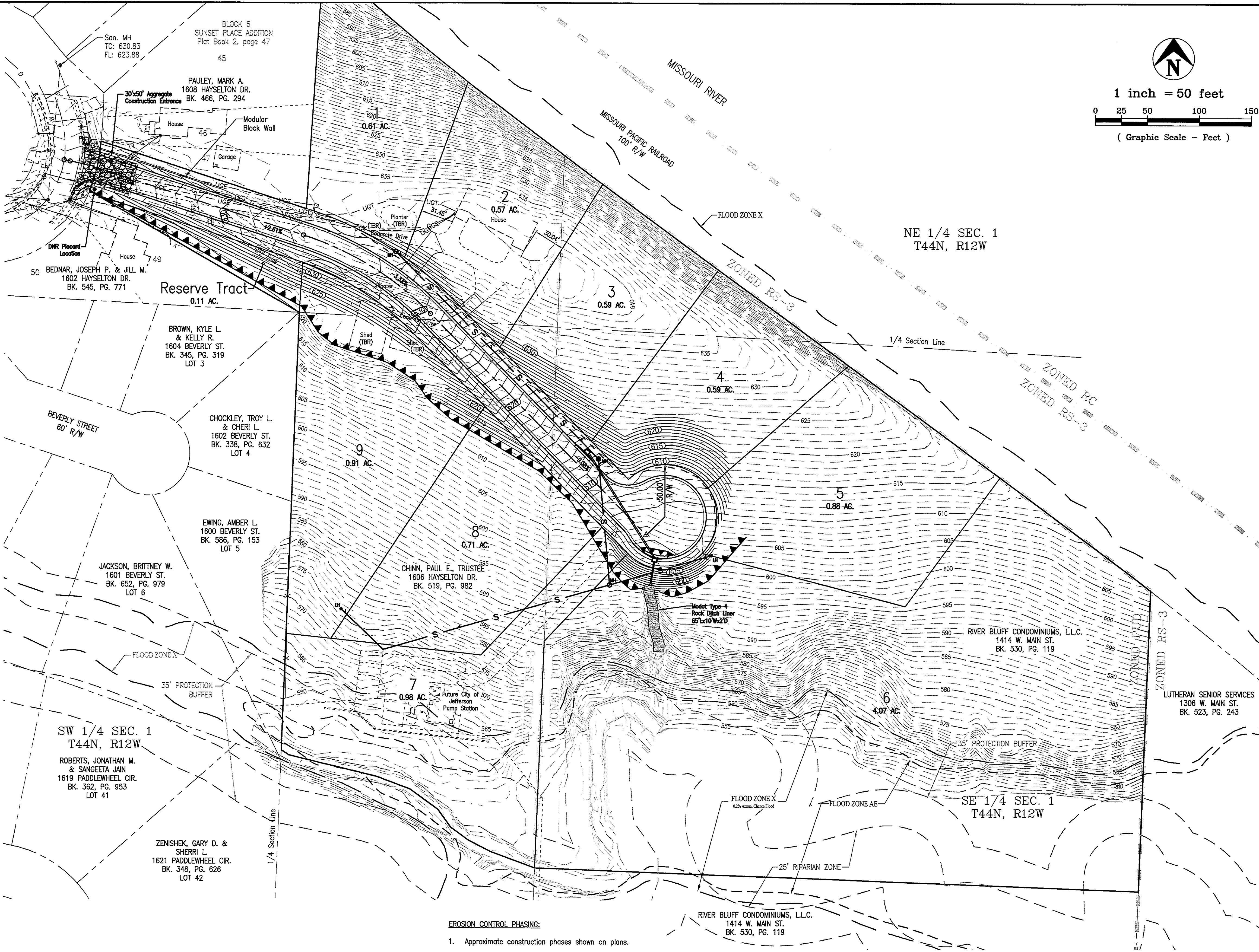
□ INLET BARRIER

ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 806 OF THE MISSOURI STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

CONTRACTOR SHALL SPECIFY LOCATION OF CONSTRUCTION STAGING AREAS, CONSTRUCTION TRAILER, FUEL/CHEMICAL STORAGE AREAS, AND CONCRETE WASHOUTS.

## EROSION CONTROL PHASING:

- Approximate construction phases shown on plans.
- Construct temporary construction entrance at location shown on the plan sheet.
- Install perimeter silt fence and inlet barriers at locations shown on the plan sheet.
- Begin site grading operations.
- Non-paved areas that are brought to final grade shall be seeded and mulched as soon as possible.
- Remove silt fence and inlet barriers only after all exposed surfaces are stabilized.



1 inch = 50 feet



( Graphic Scale - Feet )

PRINTS ISSUED

FEBRUARY 8, 2016

REVISIONS:

Central Missouri Professional Services, Inc.

ENGINEERING - SURVEYING - MATERIALS TESTING

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Patrick P. Kremer, PE - Engineer  
MO# PE-2012018094

RIVER BLUFF ESTATES  
SUBDIVISION

RIVER BLUFF CONDOMINIUMS, LLC

1414 W. MAIN ST./1606 HAYSELTON DR.  
JEFFERSON CITY, COLE COUNTY, MISSOURI

CMPS JOB No. 03-137

DRN. BY:  
PPK

CKD. BY:  
CFB

SCALE: AS INDICATED

SHEET TITLE

GRADING & EROSION  
CONTROL PLAN

SHEET NUMBER

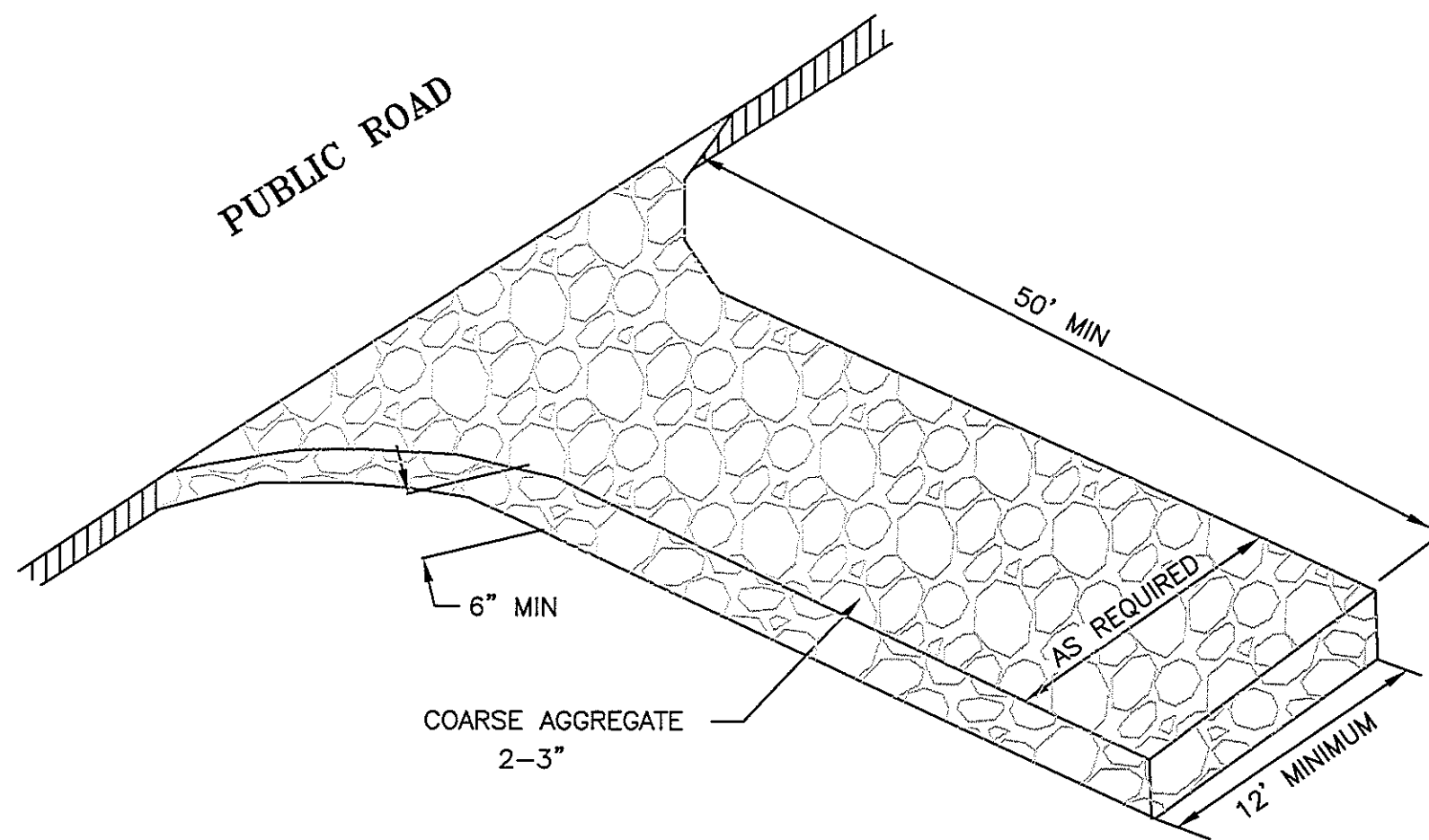
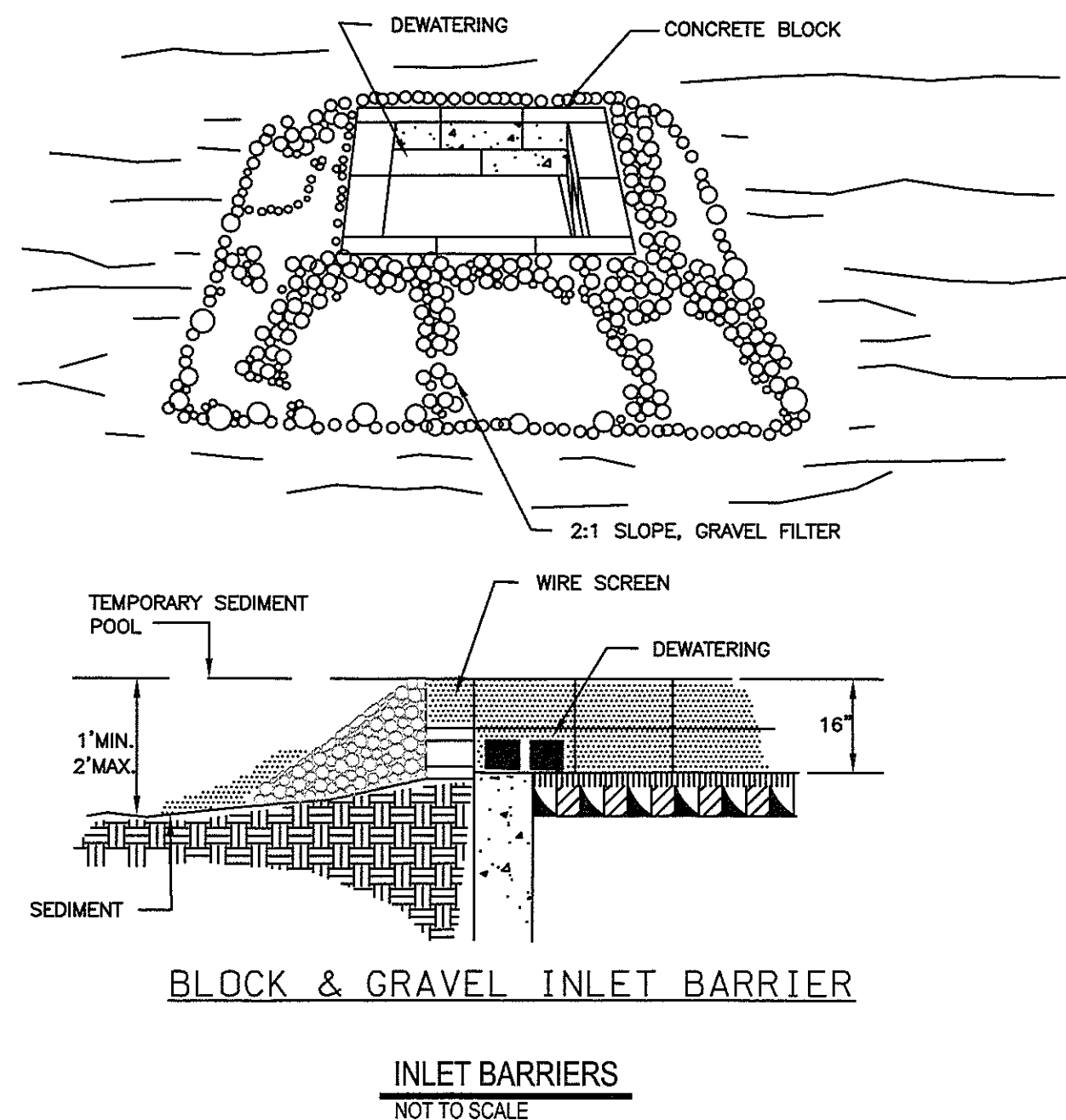
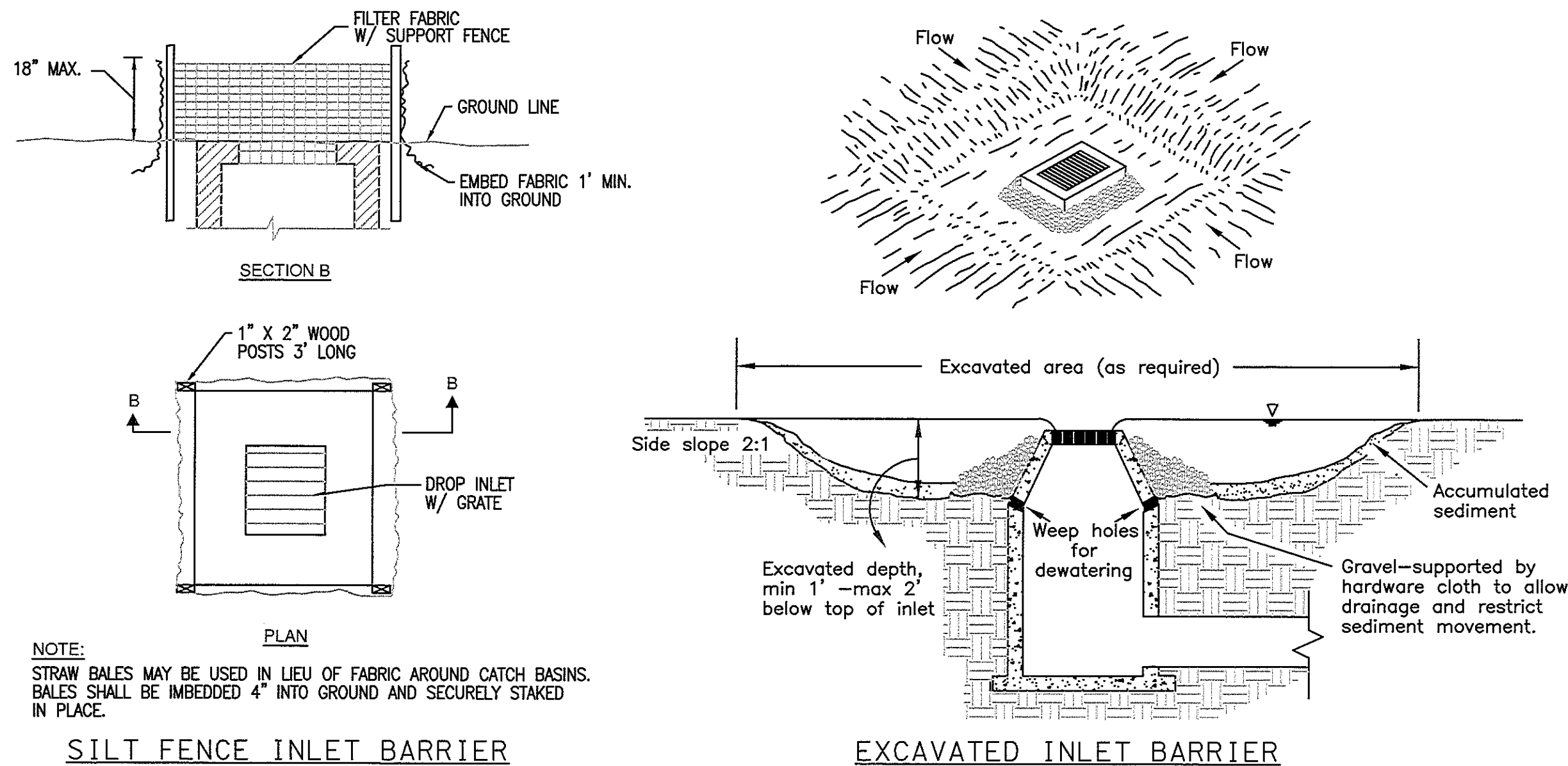
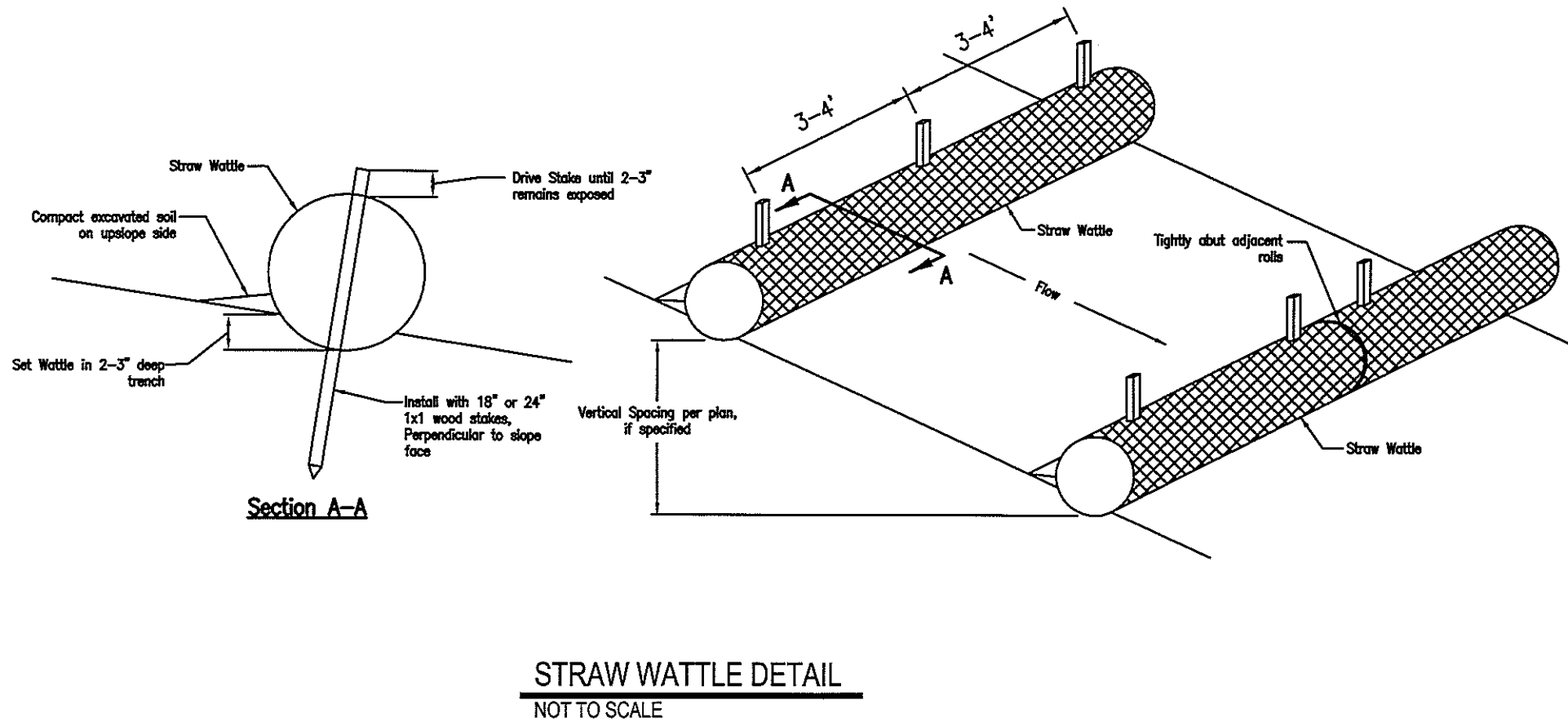
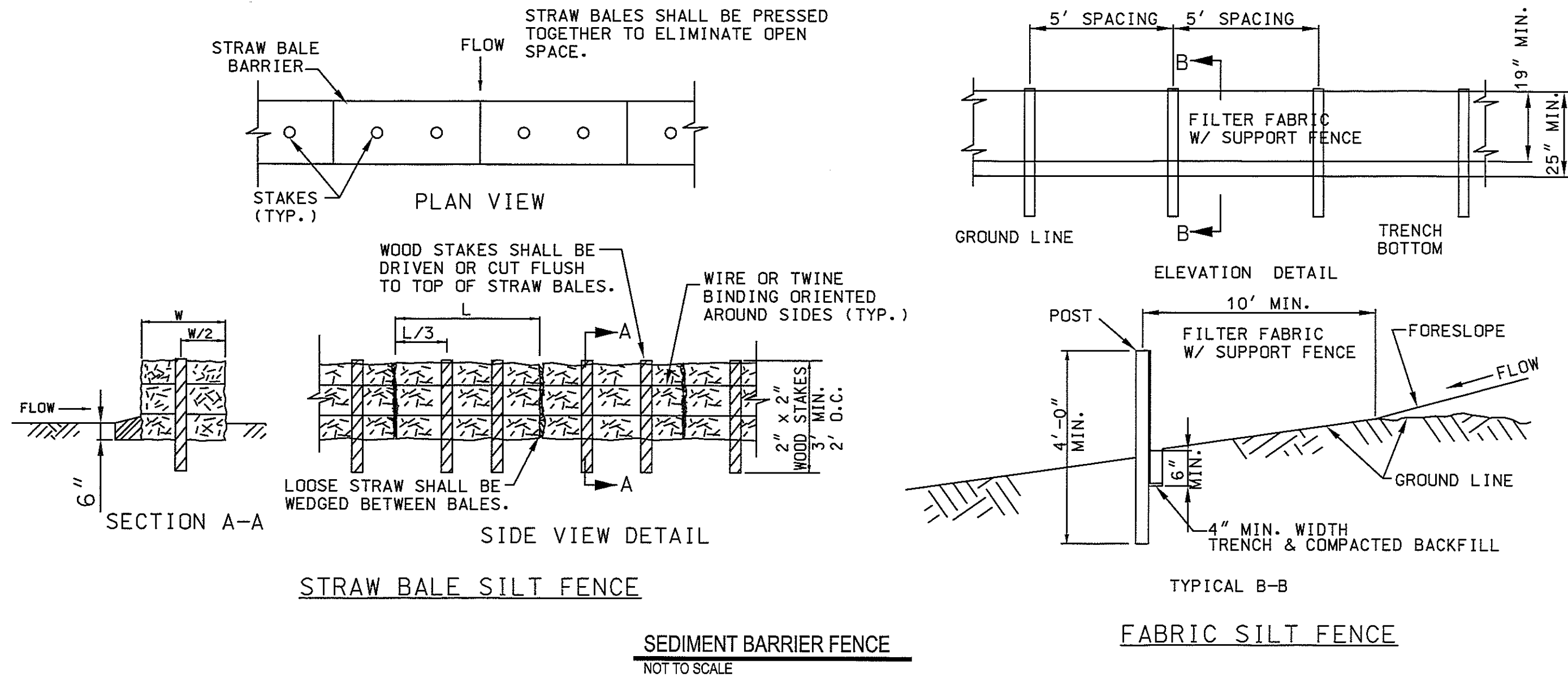
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OF 7 SHEETS

APPROVED BY: MATTHEW J. MORASCH, P.E.,  
Director of Public Works

Date:



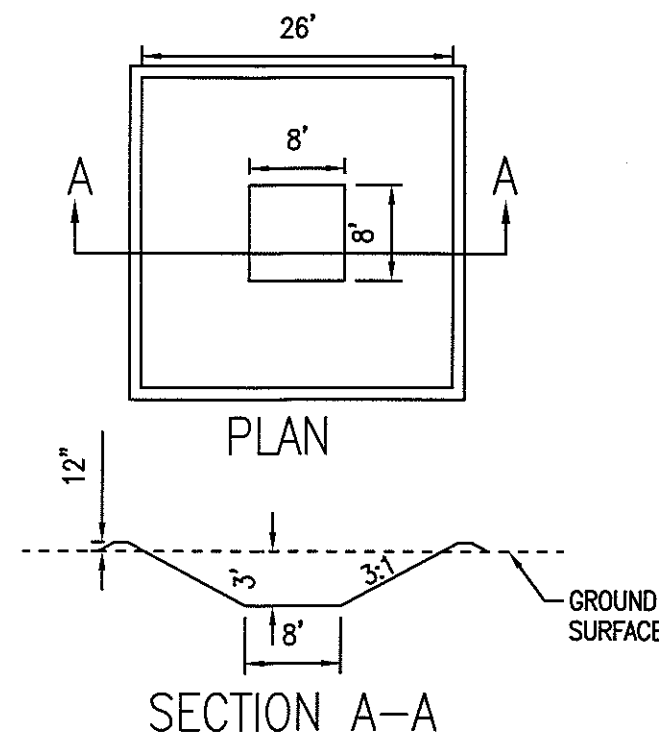


CONSTRUCTION ENTRANCE NOTES

1. An aggregate construction entrance shall be constructed as shown on the plans.
2. Aggregate size - Use 3" minus crushed limestone.
3. Length - 50 feet minimum.
4. Thickness - Not less than six (6) inches.
5. Width - Twenty five (25) foot minimum, but not less than the full width at points where ingress or egress occurs.
6. Filter Cloth - Shall be placed over the entire area prior to placing of stone.
7. Surface Water - Construction entrance surface shall be graded to drain away from the entrance. Any surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 3:1 slopes shall be permitted.
8. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
9. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
10. Periodic inspection as needed maintenance shall be provided after each rain.

AGGREGATE CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:

1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. AGGREGATE CONSTRUCTION ENTRANCE IS REQUIRED AT CONCRETE WASHOUT ENTRANCE IF ACCESS TO WASHOUT AREA IS OFF PAVEMENT.
3. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTE CONCRETE.
4. WASTE MATERIAL FROM CONCRETE WASHOUT OPERATIONS MUST BE REMOVED AND LEGALLY DISPOSED OF. THE DISTURBED AREA SHALL BE GRADED, SEEDED AND MULCHED.
5. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED AND LEGALLY DISPOSED OF. THE DISTURBED AREA SHALL BE GRADED, SEEDED AND MULCHED.
6. THE CONTRACTOR MAY ELECT TO USE AN ALTERNATE CONCRETE WASHOUT CONFIGURATION OR LOCATION WITH PRIOR APPROVAL FROM THE ENGINEER.

CONCRETE WASHOUT AREA

NOT TO SCALE

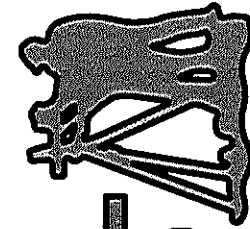
APPROVED BY: \_\_\_\_\_ Date: \_\_\_\_\_

MATTHEW J. MORASCH, P.E.,  
Director of Public Works

PRINTS ISSUED  
FEBRUARY 8, 2016

REVISIONS:

Central Missouri Professional Services, Inc.  
ENGINEERING - SURVEYING - MATERIALS TESTING  
2500 E. McCARTY  
JEFFERSON CITY, MISSOURI 65101  
(573) 634-3455  
(573) 634-8998



PRELIMINARY

Patrick P. Kremer, PE - Engineer  
MO# PE-2012018094

RIVER BLUFF ESTATES  
SUBDIVISION  
RIVER BLUFF CONDOMINIUMS, LLC  
1414 W. MAIN ST./1606 HAYSELTON DR.  
JEFFERSON CITY, COLE COUNTY, MISSOURI

CMPS JOB No. 03-137

DRN. BY: PPK CKD. BY: CFB

SCALE: AS INDICATED

SHEET TITLE

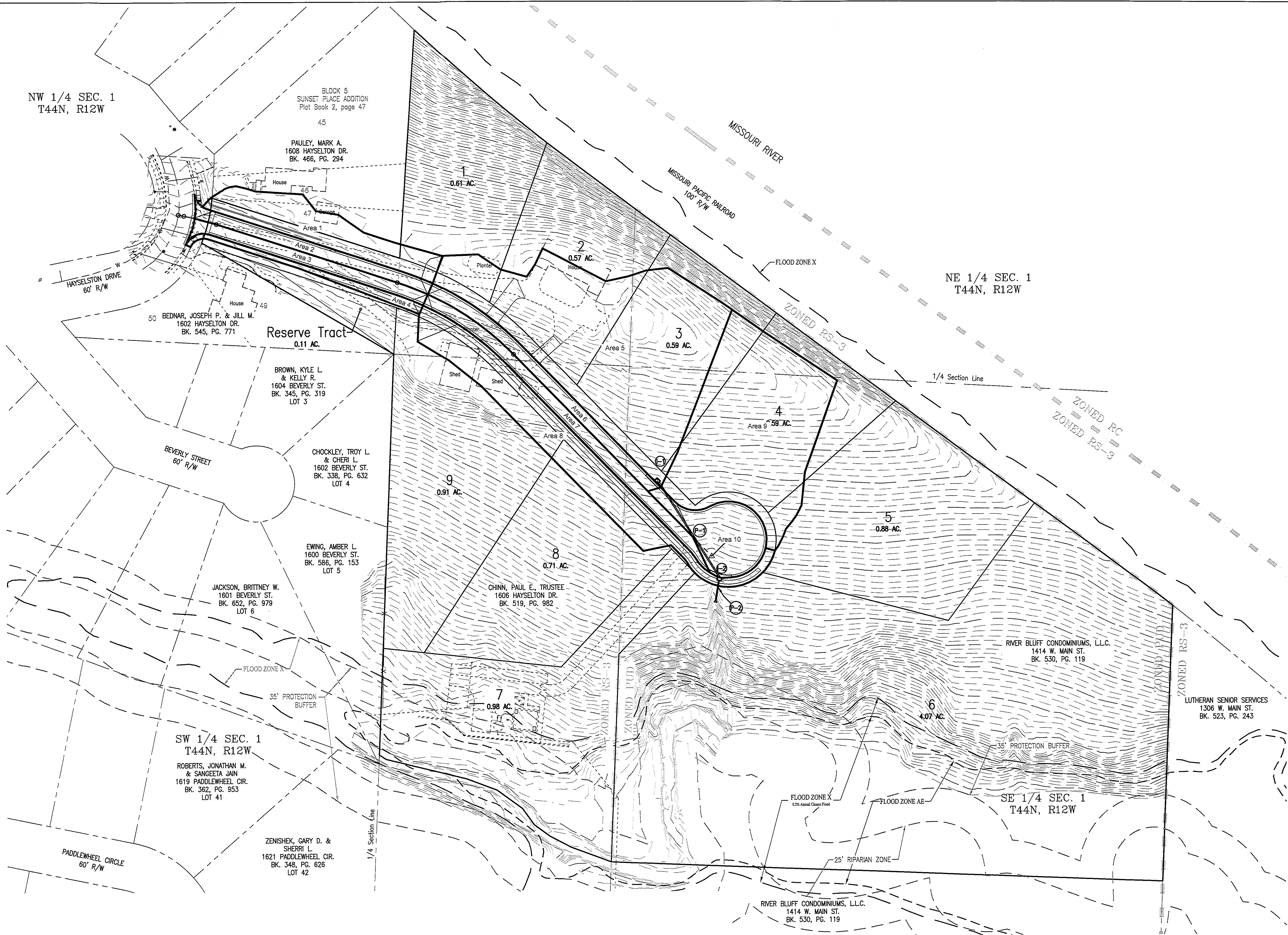
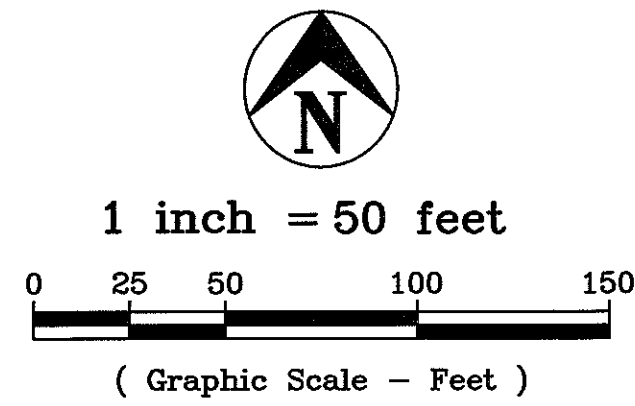
EROSION CONTROL  
DETAILS

SHEET NUMBER

7

OF 7 SHEETS





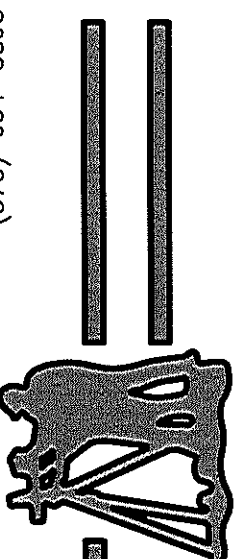
Design Storm is 25 yrs														
Form C														
Area No.	Inlet No.	Top of Inlet Elev.	Inlet Type	Time of Conc.	Runoff Coeff. "C"	Area (Ac)	Percent Imper. CA	Rainfall Intensity	Inlet Q (cfs)	Gutter Flow	Gutter Slope	Width of Gutter Flow	Inlet Length	Inlet Capacity
1	Street	-	-	5.00	0.43	0.18	0.08	8.3	0.64	-	-	-	-	0.00
2	Street	-	-	5.00	0.07	0.06	8.3	0.52	1.17	2.61	-	2.54	-	0.00
3	Street	-	-	5.00	0.90	0.07	0.06	8.3	0.52	-	-	-	-	0.00
4	Street	-	-	5.00	0.89	0.04	0.04	8.3	0.30	0.82	2.61	1.71	-	0.00
5	I-1	612.70	A	5.00	0.55	0.83	0.46	8.3	3.79	-	-	-	4	6.6
6	I-1	612.70	A	5.00	0.90	0.09	0.08	8.3	0.67	4.46	3.33	5.99	4	6.6
7	I-2	608.11	A	5.00	0.90	0.11	0.10	8.3	0.82	-	-	-	4	6.6
8	I-2	608.11	A	5.00	0.61	0.31	0.19	8.3	1.56	2.38	3.33	2.99	4	6.6
9	I-2	608.11	A	5.00	0.55	0.57	0.31	8.3	2.80	-	-	-	4	6.6
10	I-2	608.11	A	5.00	0.40	0.13	0.05	8.3	0.43	-	-	-	4	6.6

Design Storm is 25 yrs														
Form D														
Pipe No.	Upstream C/FES/U	Time of Conc.	Percent Imper. (CA)		Rainfall Intensity	Pipe Q (cfs)	Storm Drain Length	FL Upstream	FL Downstre am	CIVB Depth	Storm Drain Slope	Storm Drain Dia (in)	Pipe n	Capacity (cfs)
			Added	Cumul.										
P-1	I-1	5.00	0.54	0.54	8.3	4.46	119.00	608.01	600.00	4.69	6.73%	12	0.024	5.01
P-2	I-2	5.00	0.65	1.19	8.3	9.87	21.73	599.75	597.24	6.36	11.56%	15	0.024	11.89

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Central Missouri Professional Services, Inc.  
Missouri State Certificate of Authority #001566

PRELIMINARY

STATE OF MISSOURI  
PATRICK P. KREMER  
REGISTERED PROFESSIONAL ENGINEER  
NO. 20110094  
EXPIRATION DATE 12/31/2016

Patrick P. Kremer, PE - Engineer  
MO# PE-2012018094

RIVER BLUFF ESTATES  
SUBDIVISION

RIVER BLUFF CONDOMINIUMS, LLC & RAYMA CHINN

1414 W. MAIN ST./1606 HAYSELTON DR.  
JEFFERSON CITY, COLE COUNTY, MISSOURI

CMPS JOB No. 03-137

DRN. BY: PPK CKD. BY: RMB

SCALE:

SHEET TITLE  
STORMWATER  
CALCULATIONS

SHEET NUMBER  
1

OF 1 SHEETS